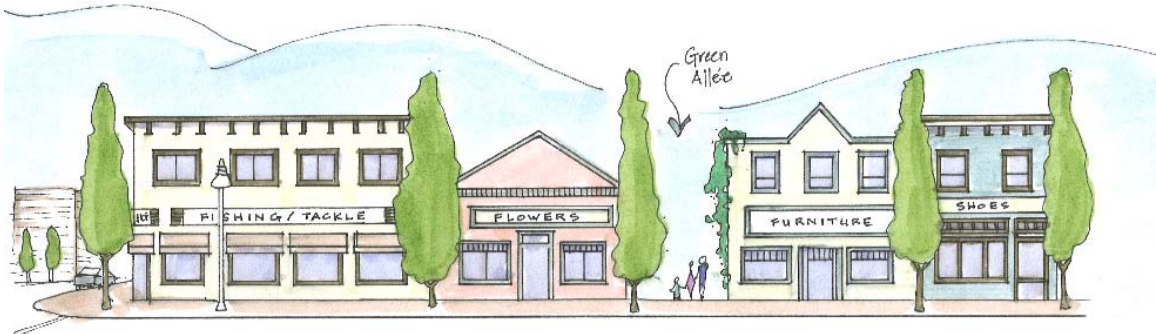




## **THE CITY OF TERRACE**



## **DOWNTOWN DESIGN GUIDELINES**

APPENDIX C  
CITY OF TERRACE OFFICIAL COMMUNITY PLAN

## CONTENTS

<b>1.</b>	<b><i>Introduction</i></b>	<b>1</b>
1.1	<i>Why Design Guidelines?</i>	2
1.2	<i>Intent of Design Guidelines</i>	2
1.3	<i>Development Approval</i>	3
	1.3.1 <i>General Requirements</i>	
	1.3.2 <i>General Human Comfort and Safety Requirements</i>	
	1.3.3 <i>General Landscaping Requirements</i>	
	1.3.4 <i>General Servicing Requirements</i>	
	1.3.5 <i>Relationship to the Official Community Plan</i>	
<b>2.</b>	<b><i>Design Guidelines</i></b>	<b>5</b>
2.1	<i>General Guidelines</i>	7
	2.1.1 <i>General Organization</i>	
	2.1.2 <i>Responding to Site Conditions and Context</i>	
2.2	<i>Image Making</i>	9
	2.2.1 <i>Sense of Entrance and Gateway</i>	
	2.2.2 <i>Historical Walk</i>	
	2.2.3 <i>Access and Circulation</i>	
2.3	<i>Development Pattern</i>	13
	2.3.1 <i>Defining Edges</i>	
	2.3.2 <i>Visual Quality</i>	
	2.3.3 <i>Screening Views</i>	
	2.3.4 <i>Site Lighting</i>	
	2.3.5 <i>Roads and Parking</i>	
	2.3.6 <i>Streetscape Material Standards</i>	
	2.3.7 <i>Streetscape Lighting</i>	
	2.3.8 <i>Public Open Space and Recreational Pathways</i>	
2.4	<i>Landscape Design of Specific Parcels</i>	23
	2.4.1 <i>Landscape Features</i>	
	2.4.2 <i>Plant Materials</i>	
2.5	<i>Building Form and Charter</i>	27
	2.5.1 <i>Façade Treatment</i>	
	2.5.2 <i>Minimum Wall Articulation</i>	
	2.5.3 <i>Main Building Façade</i>	
	2.5.4 <i>Entrances</i>	
	2.5.5 <i>Encroachments</i>	
	2.5.6 <i>Materials and Colours</i>	
	2.5.7 <i>Signage</i>	

## 1. INTRODUCTION

The City of Terrace is considered a service and supply centre for northern British Columbia and the Yukon. Downtown Terrace hosts commercial, medical, municipal, and government services for the city and surrounding communities and also provides a range of housing opportunities. Each and every part of the downtown contributes to the fabric of the community, and these guidelines aim to promote Terrace's unique situation in the region.

The City of Terrace recognizes the value of the downtown and wishes to enhance its role as a true City Centre – a focus for specialty retail and entertainment uses, and a hub of business activity and shopping. Places to live, places for visitors, and places for recreation combined with quality streetscaping and building design will provide a diverse and dynamic downtown for Terrace.



*The George Little House*



*Spirit Square in George Little Park*

## 1.1 Why Design Guidelines?

Design Guidelines give guidance and direction for the conceptual design of structures, site amenities, landscaping and streetscaping. Guidelines provide a design context for site planning, building design and landscape plans. They provide a design context for all new development and set a design standard and theme appropriate for the area. They are intended to provide flexibility to allow for individual diversity but at the same time provide a framework to promote a unique and identifiable character for downtown Terrace.

## 1.2 Intent of Design Guidelines

These guidelines serve to direct downtown. By recognizing that downtowns are special places that play a critical role in a visitor's first impression of a town or city, high quality planning and design are essential for downtown Terrace. The relationship of new development to the existing downtown core and adjacent areas is also an important planning and design consideration. Design Guidelines also need to reflect the particular characteristics of the site, and the extreme weather conditions in Terrace. This working document assists residents, decision-makers, and investors alike in achieving a high quality living and working environment. The Downtown Design Guidelines will describe the functions and aesthetics of development for all downtown lands; creating an identity reflective of Terrace's local and regional setting.

Design guidelines encourage consideration of wholeness and aesthetic attributes while being architecturally and technically sound. They encourage solutions that are complete and specific to the area. They describe a vision of the public realm or exterior spaces, and create a defined 'sense of place' and identity for building exteriors and the land around buildings, providing a context for all new development.

In particular, The Downtown Design Guidelines:

- Stimulate the development of a visually appealing place;
- Ensure harmony or compatible design elements within a particular development and between different development areas; and
- Provide clear, concise and unambiguous direction for site design, building character and orientation, signage, site landscaping, and open space.

All site development and building construction undertaken in Downtown Terrace must adhere to these guidelines.

### 1.3 Development Approval

Design guidelines are only one aspect of the process governing construction in Terrace. All construction must comply with all the requirements of the City of Terrace By-laws and Applicable Codes and Standards. The purpose of these regulations is to ensure that construction meets the appropriate technical, environmental and construction standards required that the development celebrates Terrace's heritage, economic diversity, and natural environment, and that development is appealing visually.

The guidelines are incorporated into the City of Terrace's development approval procedure. Development proponents are required to submit to the City preliminary site and building design drawings that address the requirements set out in these Design Guidelines. The City will provide comments on the proposed development and indicate if that development meets the intent of the Design Guidelines. Where, in the opinion of The City, proposed development does not address the intent of the Design Guidelines, the development proponent will be required to redesign and resubmit the development proposal to comply with the Design Guidelines. This process will ensure that future development has an appropriate design character.

#### 1.3.1 General Requirements

The following are some of the regulations that will impact conceptual design. It is not a comprehensive list of all the specific requirements.

- The British Columbia Building Code as it relates to access and fire protection City of Terrace Engineering Standards
- All applicable environmental laws and regulations
- All applicable Terrace Fire Department requirements

Barrier Free requirements are mandatory of all Construction where there is access by the public. It is recommended that all construction be carried out in accordance with these requirements whenever possible.

#### 1.3.2 General Human Comfort and Safety Requirements:

- All streetscape design must promote a safe and comfortable environment for non-motorized user groups including cyclists and pedestrians; and
- Barrier free access must be provided.

#### 1.3.3 General Landscaping Requirements:

- A Registered Landscape Architect or trained landscape professional should be retained for the preparation of all landscape plans;

- The quality of approval plant material must meet or exceed the standards of the B.C. Nursery Trade Association;
- The installations and continued maintenance of plant material must conform to the standards of the B.C. Nursery Trade Association;
- Landscaping shall be of a sufficient planting size to serve its intended use.

#### 1.3.4 General Servicing Requirements

- Servicing, drainage and related structures must be situated so that their visual and physical impact on the public realm is minimized;
- Electrical services to buildings must be provided underground and;
- Servicing kiosks must be screened by landscaping, hidden in underground vaults or incorporated into the architecture of the building itself.
- During construction adjacent streets and boulevard areas must be kept clean on a daily basis.

#### 1.3.5 Relationship to the Official Community Plan

These design guidelines relate to the development permit area identified in the Official Community Plan (OCP) as Downtown, identified on Schedule C – Development Permit Areas of the Official Community Plan. Development permits issued for these areas shall be consistent with this document and the supporting guidelines within Appendix G - Downtown Plan.

## 2. DESIGN GUIDELINES

The overall vision for development standards in the downtown is outlined in Appendix G Downtown Plan of the OCP. Site specific guidelines to ensure new commercial or mixed use developments have been established to ensure a high quality is advised on the form and character of new buildings or redevelopment sites with the downtown core area.

The Design guidelines can be categorized under five distinct headings; General Guidelines, Image Making, Development Pattern, Landscape Design and Building Form & Character.

### 2.1 General Guidelines

The City wishes downtown Terrace to function as the true community and civic centre, a focus for specialty retail, entertainment, restaurant and public services, and high density residential uses. The following General Guidelines reflect that important role and relationship and apply to all areas of the Downtown.

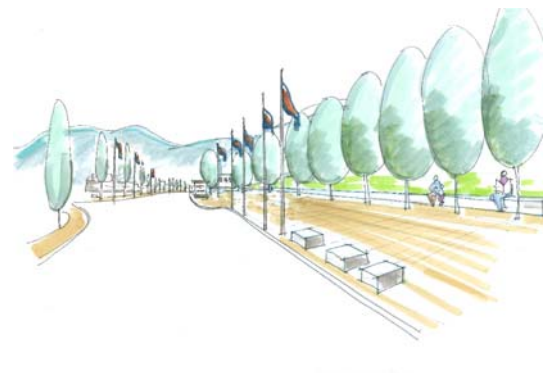
#### 2.1.1 General Organization:

Where appropriate, the potential for sharing site amenities with adjacent Structures should be considered. This may include shared driveway accesses to create open space, shared landscape buffers, parking and shared snow storage spaces.

Landmark architecture, which fits the character of the Downtown, should be considered at gateway entrances, on sites that act as a terminus to a street (such as sites at the terminus of Sparks Street), or on other sites with a significant location.

Objectives:

- To promote a visually appealing Downtown
- To promote a high quality sense of entry
- To promote an appropriate interface with adjacent residential, service commercial and light industrial lands so that new development creates an environment for neighbours and visitors alike that encourage activity
- To promote a sense of entry and identity at key road junctions
- To stimulate a positive experience entering and exiting the downtown



*Downtown gateway concept*

- To soften parking areas with buffering
- To maintain the small town character of Lakelse Avenue

### 2.1.2 Responding to Site conditions and Context

Intent: To promote high quality site planning which is sensitive to on-site features such as existing land use and views.

Guidelines:

- Prior to site design, a site analysis should be undertaken to identify significant on-site and off-site opportunities and constraints;
- Site Planning and architectural design should also be responsive to built or natural systems surrounding the site in a manner which enhances the overall image of the Downtown;
- Views through to mountains will need to be carefully incorporated into any new development.



*Maintain viewscales of majestic natural mountain scenery*

## 2.2 Image Making

Downtown Terrace is an important community and regional centre. The area's unique identity can be promoted by the use of quality building materials, sensitive building design, and choice of landscape materials. A sense of entrance, edge, and identity are important. Entries to Downtown should be highlighted in design of open space. The streetscape and public faces of all properties and buildings contribute to the overall perception of Terrace and need to be given attention in design.

Image making indicates a pride of ownership and sense of place and the following Image Making Guidelines address that important consideration.



*B.C. Provincial Police Building – Kalum Street*

## 2.2.1 Sense of Entrance and Gateway

Intent: To create a sense of transition as one enters or leaves the Downtown.

This may be achieved through symbolic gateways or dramatic changes in the streetscape image. At a smaller scale each building or property should have a strongly identified entrance as well.

Objectives:

- To create a signature gateways at main roads that act as entries to the downtown.
- To recognize the interrelationship of adjacent land uses.
- To promote long term high quality development.

Guidelines:

- A special gateway, consisting of significant landscaping and improvements to the rooftop of the Skeena Mall, should be constructed at the main entry to downtown at the Sande Street overpass;
- A special gateway feature and manicured landscaping should be created at Lakelse Avenue and Apsley Street;
- Enhanced lighting, both in illumination and quality & quantity of light fixtures, which meets safety standards, should be considered along all downtown streets;
- Enhanced Landscaping should be considered along all downtown streets.



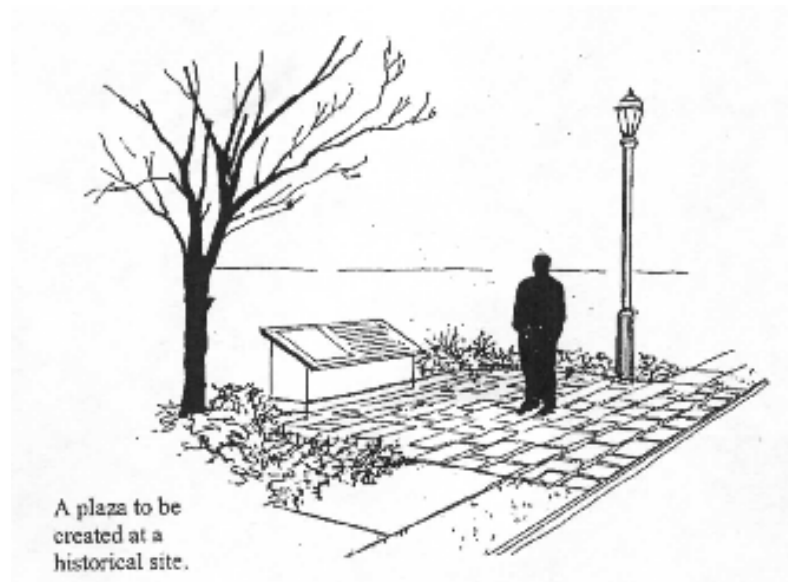
*Downtown Gateway Feature*

## 2.2.2 Historical Walk

Intent: To appreciate the historical evolution of Terrace that is not altogether apparent today through the creation of a historical walk.

Guidelines:

- Community Heritage Registers shall be reviewed and sites identified with the downtown.
- Quality signage that includes maps and photos should be located within the streetscape or on property at key sites with identified heritage character and value for the community.
- Locations of historical markers should be emphasized with ornamental streetlights, planting, paving and benches.

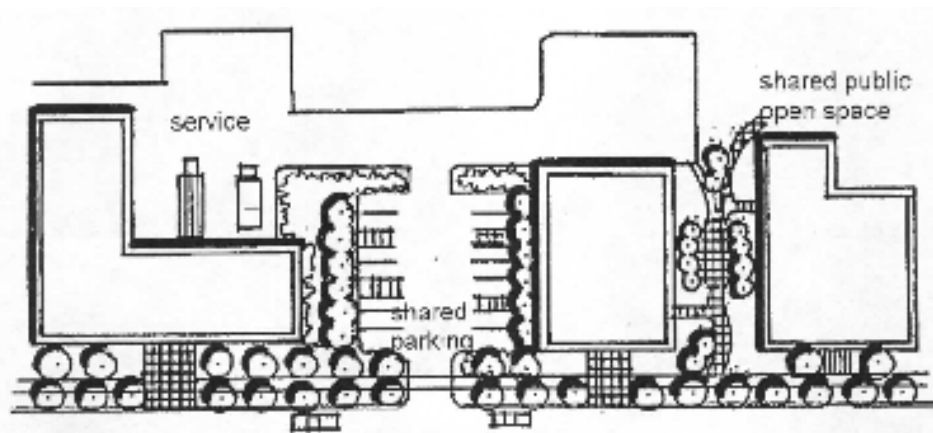


### 2.2.3 Access and Circulation

Intent: To ensure an effective and efficient pedestrian and vehicular circulation system which enhances the image of Terrace and which reduces conflicts between the pedestrian/vehicular realms.

Guidelines:

- Roads should be enhanced with the addition of landscape feature plantings to help define the entrance corridor and improve the existing road hierarchy;
- Shared driveway access between adjacent buildings is encouraged, except in the Core Commercial area where rear access to development is encouraged;
- Public parking and employee or service vehicle access and pedestrian access from street/sidewalks should be distinct and separate from one another;
- Local streets should encourage on-street parking to reduce on site parking requirements and reflect a more intimate character. The City recognizes this need and is prepared to remove snow from core areas to maintain on-street parking in winter months.



Shared driveways, parking areas and public open spaces are important as is the separation and buffering of service areas.

### 2.3 Development Pattern

The Downtown Core includes a number of development areas that relate to a mix of development types with varied building forms and uses. These defined areas have been created to encourage a mix of uses and densities, and include residential development. The following directions support the creation of varying development areas within an identifiable core in Terrace

#### Objectives:

- To establish a high quality downtown area through the introduction of high quality new development and attractive redevelopment of existing structures;
- To create visually appealing public spaces;
- To use approved landscaping features to highlight selected interesting commercial development, such as new development adjacent to public space;
- To incorporate special needs, such as snow clearing, into selected landscape areas.

### 2.3.1 Defining Edges

Intent: To establish clear distinctive edges to Downtown development areas and between public and private spaces. The streetscape should be well defined in an urban manner using formal standards for both hard and soft landscape materials.

#### Guidelines:

A unified visual language for a characteristic streetscape should be established, including light standards, sign standards, feature site furnishings, pedestrian paving widths/patterns/materials.

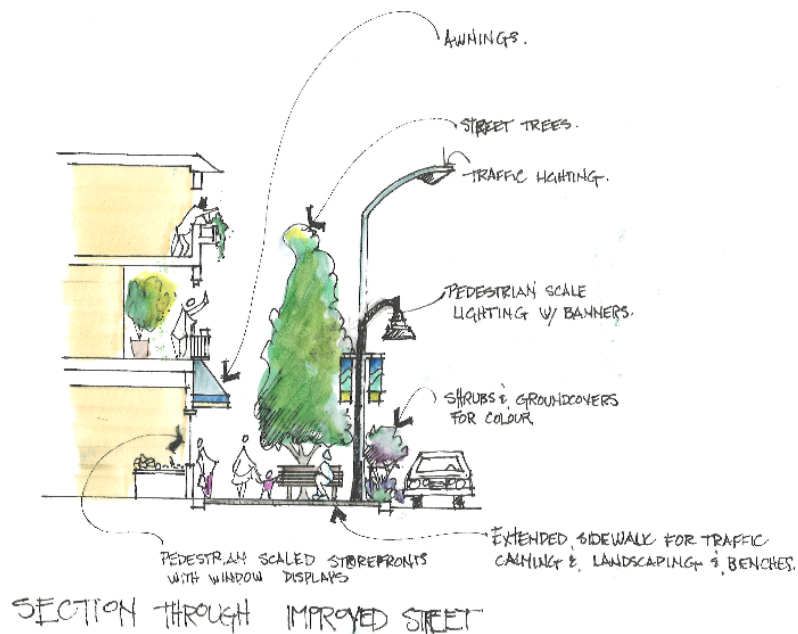
- Streetscape elements on roads in the Downtown commercial Core areas should be formal and include unit pavers and trees in hard surfaces with planters or tree grates;
- Streetscape elements on roads in the Multi-Family, Mixed-Use and Commercial Recreation Areas should be softer in character – boulevards should be planted with sod and trees;
- Width of sidewalks and rights of way should allow for the provision of street trees;
- Landscaping should define the edges of development areas while providing continuity between buildings within a development area;
- Private and public spaces should be identifiable to local residents and visitors alike.

### 2.3.2. Visual Quality

Intent: To promote a rich quality of visual experience. The streetscape should be designed to ensure a formal and well-maintained appearance that is aesthetically pleasing and provides a unifying green appearance.

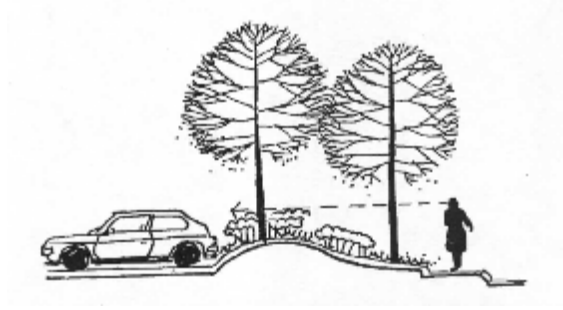
#### Guidelines:

- All streets should be planted with formal plantings of street trees, create windbreaks where possible, and where appropriate be complemented with low shrub plantings in planters and planting beds;
- Streets should be designed to a high quality standard, including formed curbs, broom finish concrete sidewalks, and in the Core Commercial areas, unit pavers in pedestrian sidewalks;
- Overhead power lines and obtrusive utility boxes shall not be permitted for new development in any downtown area;
- Streetscape design should take into consideration the selection of materials that will ensure a lasting neat appearance, which is easily maintained;
- Fencing and planting materials should provide a visually softening effect, while still maintaining sight lines for safety;
- Residential uses should be buffered from industrial or public activities.



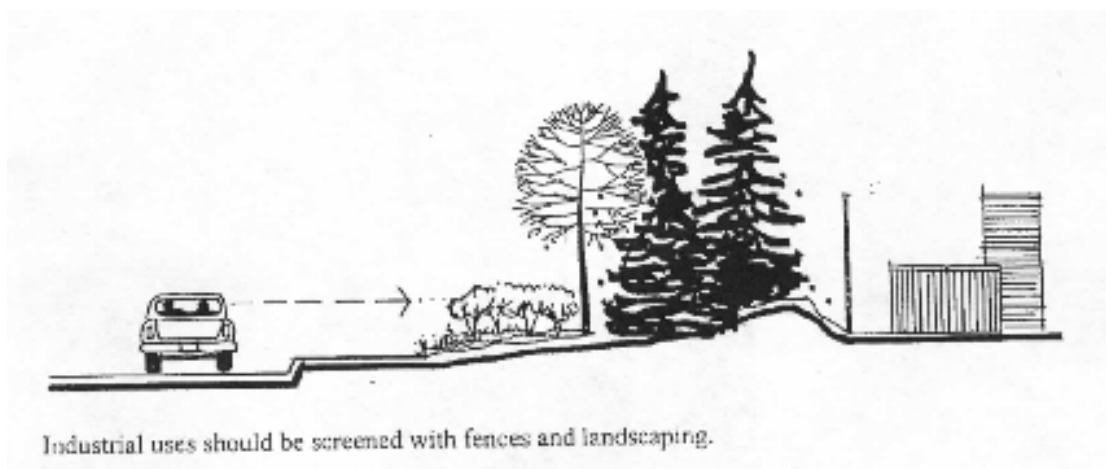
### 2.3.3 Screening Views

Intent: To protect important views and buffer views to parking areas and industrial uses.



#### Guidelines:

- Vertical streetscape elements such as planting or decorative walls and fences should be used to screen adjacent less desirable views;
- Landscape elements should be used to screen residential areas from industrial uses;
- Use of berms, shrub beds, low walls, and low, decorative fences should be considered to screen undesirable views, soften views of expansive architectural features, and to provide visual interest to expansive site features such as parking areas.



### 2.3.4 Site Lighting

Intent: To promote safety and security and create attractive welcoming public and building entry spaces. On-site lighting should be sufficient to provide clear orientation and personal safety. Additional consideration should be given to enhancing special features or aesthetic qualities.

#### Guidelines:

- Lighting shall be provided for all walkways, driveways, parking areas, and loading areas to ensure personal safety and site security;
- Signage and special architectural or landscape amenities should be enhanced with additional feature lighting;
- Lighting fixtures should be concealed where possible or incorporated into the architecture of the building;
- Where lamp standards and fixtures are exposed, the aesthetic quality of these elements must be considered to ensure an overall positive image to the development;
- Continuous lighting should be provided along all walks and trails.



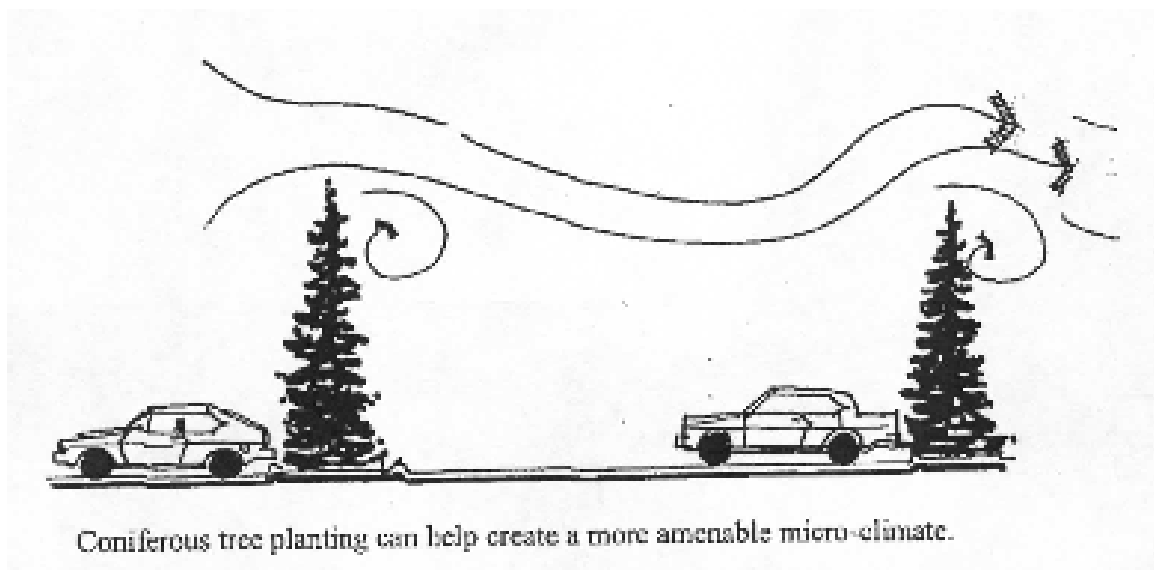
### 2.3.5 Roads and Parking

The downtown is easily accessible by vehicle, and presently ample parking is available. In fact much of the downtown is covered by parking lots without paving, lighting, or planting. This large number of parking lots needs to be reduced. Future developments may have assigned spaces in designated lots. All development will be served by on-street parking that is available throughout downtown. Additional parking shall be located within buildings in parkades or behind buildings in new developments. No parking will be permitted in front of buildings on the development lot.

Intent: To provide access and parking that is attractive and efficient.

Guidelines:

- Parking should be internalized, or provided at the back and side of new development;
- On street parking shall be permitted throughout all land use areas;
- Special street markings and signage should be considered to enhance identification and use of on-street parking areas;
- Parking medians should be planted with trees for shade/wind protection;



- Lines of sight should be preserved at corners as defined in Terrace By-laws;
- Planting medians should be a minimum of 3 metres wide to support shade tree rooting area;
- Parking lots shall be buffered with vegetation while permitting views into and through for safety purposes;
- Large lots need to be divided into smaller parking areas by landscape areas;
- Where possible, access should be combined and parking should be shared for all land-use areas;
- Grass areas with some shade trees and rock boulders should be accommodated within parking areas to provide snow storage spaces in winter months in large parking lots.

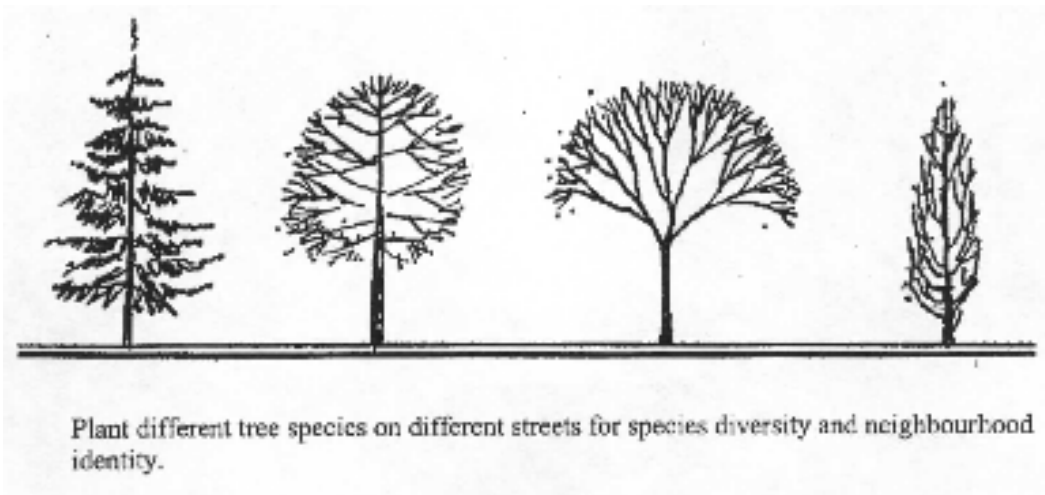
### 2.3.6 Streetscape Material Standards

Intent: To promote use of high quality street construction, furniture elements and landscaping materials.

Guidelines:

The choice of high quality materials should be selected based on the following criteria:

- Durability and performance;
- Aesthetic appeal and timeless quality;
- Streetscape materials should be selected which establish a vibrant, high quality image along all streets;
- Street trees shall be used at every opportunity on every street;
- Use different varieties of trees on different streets to add interest, promote bio-diversity and distinguish one street from another;
- Paving materials should be used to mark pedestrian areas, set aside parking areas, and make walkways more distinctive from traffic lanes.

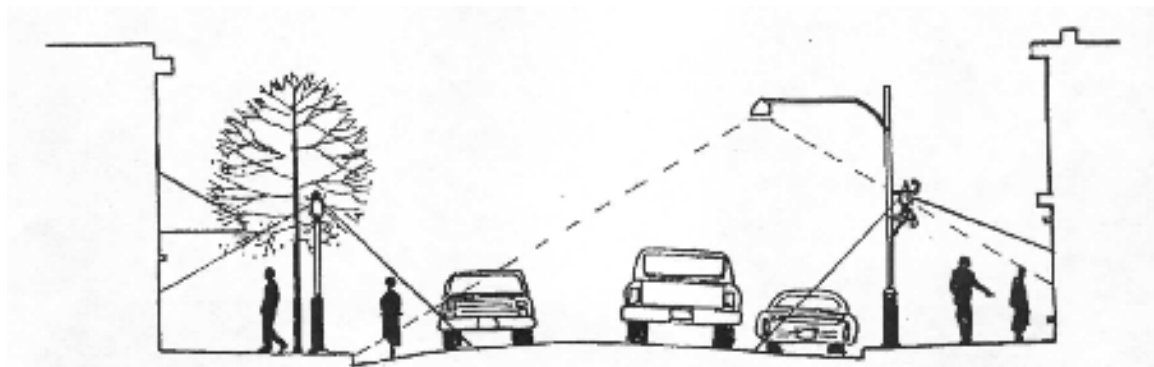


### 2.3.7 Streetscape Lighting

Intent: To promote safety and security and to create attractive and inviting streets. Streetscape lighting should provide roadside safety and enhance the visual effect of special site features.

Guidelines:

- Lighting design should take into account minimum photometric standards for safety;
- Photometrics should be enhanced to highlight special features/intersections/passenger loading zones;
- The scale of lamp standards and height of luminaires should relate to both the vehicular roadside scale as well as the sidewalk pedestrian scale;
- Street lighting (type and location) should accentuate the downtown, especially during winter months;
- Decorative lighting should be used throughout the winter months, not only for the holiday season.



Lamp standard scale should relate to both vehicles and pedestrians.

### 2.3.8 Public Open Space and Recreational Pathways

Intent: The intent of planning for open space should be to enhance the public image and create meaningful recreational opportunities for the community.

#### Guidelines:

- Interfaces with pedestrian related linkages shall be considered for all open space areas;
- All streets should incorporate wide and safe pedestrian realms;
- The Core Commercial in particular should have a pedestrian focus;
- Open space should be extensively landscaped to enhance the visual, physical and environmental qualities of the downtown;
- Pedestrian paths and walks should be concrete, boardwalks or unit pavers.



## 2.4 Landscape Design of Specific Parcels

Landscaping is critical to the development of a high quality image for downtown Terrace. It should be reflective of the regional and site context and create a sense of place and pride for residents and visitors to Terrace. Landscape Design should be applied to all development lots.

Landscape development provides the setting in which all other forms of development exist. As such it is a key element which dictates aesthetics and provides a medium of integration within the Commercial areas and with adjacent Residential and Industrial lands. Landscape design applies not only to plant materials such as trees, shrubs and groundcovers, but also to pavements, fencing, outdoor furnishings, rocks, retaining walls and planters, arbours, and trellis, and shelters such as gazebos or pavilions as well as other sculptural, or water features that are used to define and add interest to outdoor space. The use of landscape features is encouraged for all new development.

Objectives:

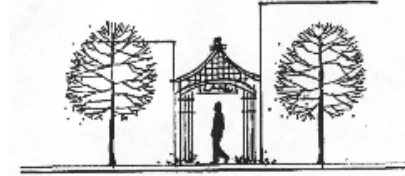
- To establish high quality landscaping which complements the character of the site, building and neighbourhood.
- To minimize maintenance costs.
- To reinforce the sense of place of the Downtown and the role of the Downtown as an important core commercial, residential and specialty area.
- To promote use of high quality plant materials.



## 2.4.1 Landscape Features

Intent: To promote high quality landscape design and create interest at a pedestrian scale.

Guidelines:



- Pedestrian surface should be emphasized by using unit pavers, stamped or patterned concrete, or boardwalks;
- Retaining walls and screening walls should be softened with the planning of vines or cascading shrubs;
- Planters shall be of ample size so that a number of shrubs will fit within one planter;
- Planter baskets or planter boxes should be considered in high use areas;
- Highlight site entries by landscape construction of arbors, archways, or pergolas;
- Only low, transparent fences are permitted at the interface of the private/public realm;
- Use architectural elements in the landscape to provide shelter and create focal points; and
- Use street furnishings (lights, bollards, waste receptacles, bicycle stands, tree grates).



Arbours, archways and pergolas should be used to highlight site entries.

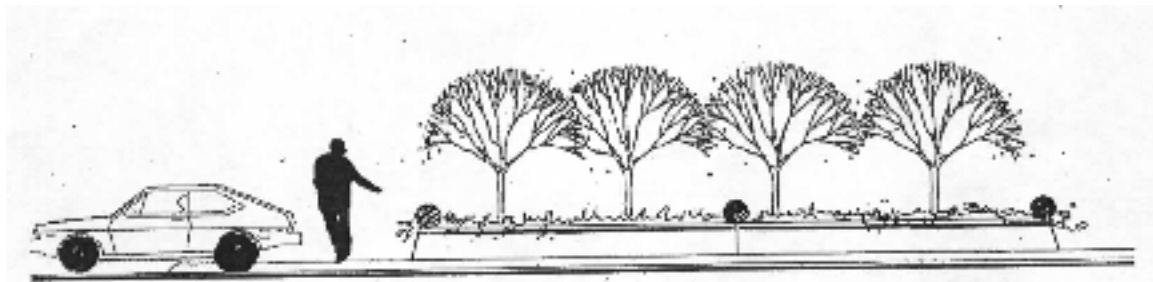
## 2.4.2 Plant Materials

Intent: To promote the use of high quality hardy native plant materials. Approved high quality plant material should be selected to reinforce a positive, green image.

### Guidelines:

- Landscape design and development should enhance the overall character, and image of the Downtown.
- Plant materials selection should provide visual interest and variety throughout the year.
- Plant material should reflect the character of the Terrace local where possible.
- Landscape materials (size and type) should be selected to address snow accumulation considerations (i.e. reducing drifting, allowing storage) on a site by site basis.
- Landscape design should be completed by a Registered Landscape Architect or landscape professional who is trained in the planning, design and implementation of high quality landscape plans suitable for the downtown.
- Plant material selection should complement site use and scale of development.
- Plant material should provide year round appeal (colour, texture, form) through use of flowering shrubs, perennials, winter twig colour.
- Where planters are used they should be of sufficient size to accommodate shrubs and masses of plants.
- Plantings (trees and shrubs) should be of drought , low maintenance variety suitable to the regional growing conditions and climate. Local varieties should be preferred if available.
- Landmark planting should be encouraged at entry intersections using a style that repeats signature elements at key intersections in Downtown.
- Plant material should include a mix of deciduous and coniferous species, using native plants where feasible.

- Plant material should take into account reduced water/maintenance requirements.
- Landscape design should provide an interesting mix of canopy and ground cover elements.
- Landscape material should be of pedestrian scale
- Sight lines should be preserved for safety through landscape areas.



Planters should be of significant width and depth so that both shrub masses and/or groundcovers will fit within one planter.

## 2.5 Building Form and Character

A unique character and pedestrian scale in downtown can be realized through attention to detail and the type of materials used in downtown buildings. While some variety in building style is both healthy and appealing, differing integration of old and new buildings in an urban context relies most heavily on the continuation of pedestrian scale. Owners wishing to construct new buildings on infill sites are strongly encouraged to solicit professional design advice. These guidelines provide a starting point for new construction. They may also be used when considering renovation or redevelopment of existing buildings. This section deals with materials, style, and detailing from the point of creating quality design with visual interest in mind.

Intent: To design and construct new buildings which reinforce the focus on Downtown Terrace as a true civic core and centre of activity for the region.

Objectives:

- To integrate all building landscape development.
- To site buildings as part of a larger setting, complementing adjacent uses and buildings.



## 2.5.1 Façade Treatment

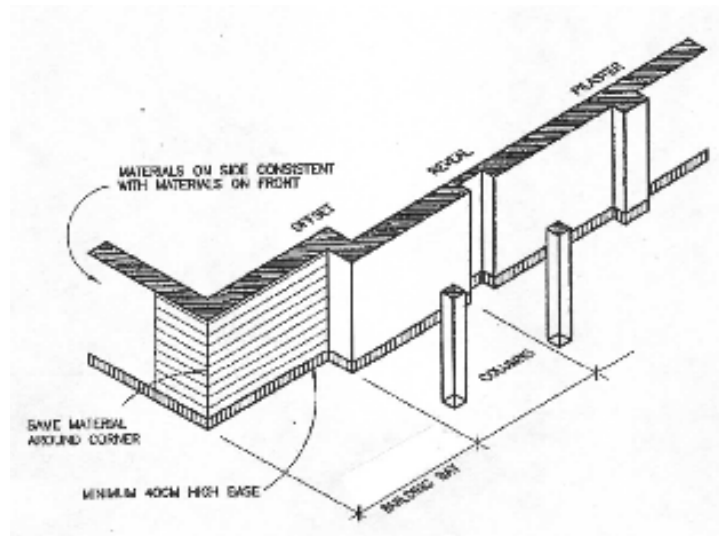
The following guidelines are intended to establish a minimum level of consistency in the urban area. Designs which fall outside the parameters of these guidelines must have supporting material to illustrate their scheme in the form of three-dimensional drawings or a model.

## 2.5.2 Minimum wall articulation

Intent: To promote building design that expresses a variety of three-dimensional form and embodies a high degree of architectural detail and quality of materials.

Guidelines:

- Building Bays shall be a maximum of 10 metres in width.
- Bays shall be visually established by architectural features such as columns sitting proud of the building, pilasters on the face of the building, canopy separations reveals or offsets.



- No wall faces a street or an open area on the same lot (such as a parking lot) shall have a blank, uninterrupted length exceeding 10 metres without including at least two of the following: change in plane, change in texture or masonry pattern, windows, a landscape device such as a trellis with vines or an equivalent element that subdivides the wall in human scale proportions.

- Side or rear walls that face walkways may include false windows and door openings defined by frames sills and lintels, or similarly proportioned modulations of the wall, only when actual doors and windows are not feasible because of the nature of the use of the building.
- The sides of the building that are not on a property line shall have materials that are consistent with the material on the street side of the building.
- Materials shall not dramatically change at the corners of buildings unless the corner is on an internal property line.

### 2.5.3 Main Building Façade

Intent: To promote a sense of place and enhance the interface with the public realm for all buildings. Attention must be paid to all faces of structures that have a 'public face' (i.e. facing a street). Special attention should be given to the facades of buildings on corner sites.

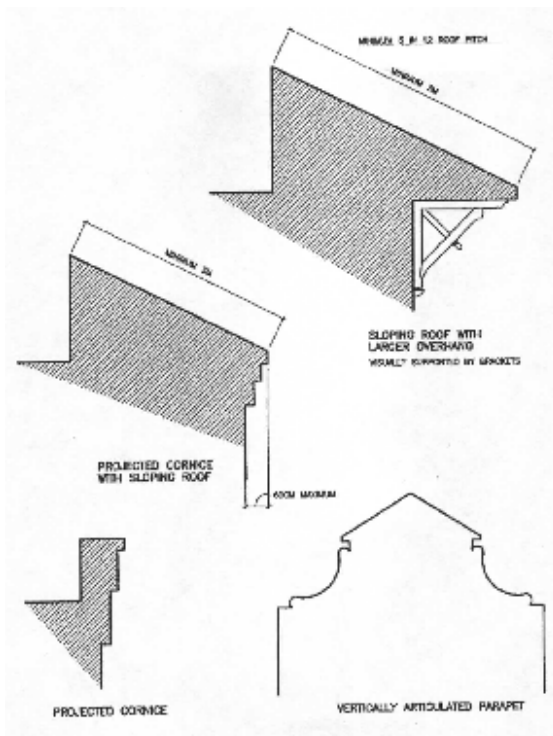
#### Guidelines:

- Facades that face streets or pedestrian frontage shall be subdivided and proportioned using features such as windows, entrances, arcades, arbors, awnings, canopies and trellises along no less than fifty percent of the façade;
- Windows and glass is encouraged at the street level;
- Awnings should generally be restricted to less than 1.8 metres into the right of way to allow for the planting of street trees;
- Awnings shall be no longer than a single storefront or 10 metres wide without a break of at least 0.60 metres or a change in elevation;
- All solid walls of a façade shall have a recognizable "base" consisting of:
  1. Thicker walls, ledges, or sills a minimum of 40 cm high.
  2. Integrally textured materials such as stone, masonry, or textured concrete.
  3. Integrally coloured and patterned materials such as smooth finished stone or tile.
  4. Lighter or darker coloured materials.
- All facades shall have a recognizable top consisting of (but not limited to) one of the following:

1. Three-dimensional cornice treatments that project the top of the building outwards.
2. A sloping roof with a maximum 60 cm overhang in combination with a cornice.
3. A sloping roof with an overhang visually supported by brackets or columns.
4. A parapet that is articulated vertically.
5. Flat faced canopies or roof overhangs are not permitted.

➤ Sloping Roofs shall include one of the following design features:

1. Where sloping roofs are used they shall have a minimum roof pitch of 5 in 12. The sloping portion of a roof shall have a minimum exposed roof surface of 3 metres.
2. Canopy roofs on multiple storey buildings shall have a minimum slope of 5 in 12 and be visually supported by brackets or have an exposed structure.
3. Metal roofs shall not be a primary colour. (See also 2.5.6 Materials and Colours).
4. Metal roofs shall incorporate snow guards (Canopy roofs exempt).
5. Rounded roofs shall have an equivalent slope of 3 in 12 from the edge of the roof to the apex.



## 2.5.4 Entrances

Intent: To ensure public/building entrances are clearly identifiable and accessible.

Guidelines:

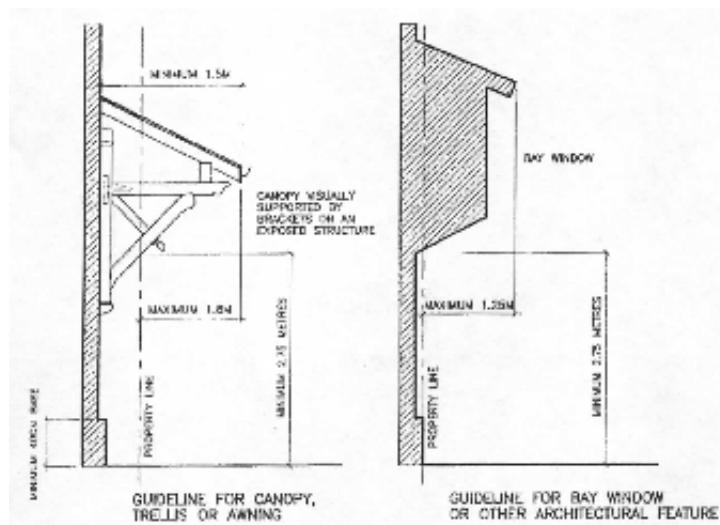
- Primary building entrances shall be clearly defined with different roof and wall treatments from the rest of the building;
- The main building entrance shall have a sheltering element such as a canopy, awning, recess or arcade;
- The entrance shall provide protection from the weather and may be recessed or have a vestibule;
- The primary entrance to a building shall be located along the front wall of the building and shall be accessible;
- Secondary entrances such as those for second floor apartments must be clearly identified and visible from an adjacent street or a rear lane. Accessible entry for handicapped access may be via a clearly identified secondary entrance.

## 2.5.5 Encroachments

Intent: To encourage articulation of architectural features and provide protection from the elements for pedestrians.

Guidelines:

- Structural architectural features, such as bay windows, roof overhands, cornices and entry features may project up to 1.25 metres into street right of way, provided that they are no less than 2.75 metres above the sidewalk;
- Trellises, canopies and fabric awnings may encroach 1.8 metres onto the sidewalk provided they are not less than 2.75 metres above the sidewalk and there is no conflict with street trees or streetscape elements, such as lighting and signage;
- Canopies and awnings when provided must project a minimum of 1.0 metre from the building.;
- Awnings less than 3.0 metres in length are permitted to have less depth.



## 2.5.6 Materials and Colours

Intent: To identify a colour palette for building finishes that ensures consideration of site context and adjacent existing architectural design and character.

### Guidelines:

- Façade colours shall be low reflectance, subtle, neutral or earth tone colours within a medium or moderately dark range of value.
- The use of high intensity colours, metallic colours, black or fluorescent colours is limited to focal feature elements and trim.
- Exterior building materials for street facades shall not include smooth faced concrete block (triple score acceptable), tilt up concrete panels, vertical metal siding or smooth concrete.
- Horizontal steel panels shall not be permitted for front façade use. In all other uses they shall not be a primary colour (true blue, bright red, bright yellow, orange, or true green) unless used in conjunction with a neutral or earth tone colour which forms 75% of the surface area.
- Building trim and accent areas may feature brighter colours, including primary colours.
- Exposed concrete (except for normal foundation projection above grade) must be heavily ribbed, textured, coloured or bush hammered.
- All building materials are to be sufficiently durable and shall be detailed to withstand Terrace's seasonal climate.
- Reflective or heavily tinted glass is not permitted for use a wall cladding treatment and shall be only permitted where extensive façade detail consists or other architectural elements.
- Vinyl siding is prohibited.

## 2.5.7 Signage

Intent: To encourage a system of signs that complements the image of the Downtown.

Guidelines:

- Building signage shall be limited in scale and integrated with the design of the building facades.
- Building signage should reflect the character of the building function to assist in orientation and character.
- Signage shall conform to the signage by-law.