

**A PUBLIC HEARING WILL BE HELD IN THE
MUNICIPAL COUNCIL CHAMBERS ON
MONDAY, JANUARY 24, 2011 AT 7:00 P.M.**

A G E N D A

1. City Planner's Report – 3323 Munroe Street:

Rezone Amendment for the Property Legally Described as East ½ of Lot 2, District Lot 362, Range 5, Coast District, Plan 3126 Being All That Portion Lying East of a Straight Line Bisecting the North and South Boundaries Thereof (3323 Munroe Street).



**H. Nunn,
Clerk**



CITY OF TERRACE

DEVELOPMENT SERVICES DEPARTMENT

PUBLIC HEARING REPORT

MEMO: Ron Poole, CAO for Mayor and Council

FROM: David Block, City Planner

DATE: January 24, 2010

SUBJ: **Rezone for the property legally described as the East ½ of Lot 2, District 362, Range 5, Coast District, Plan 3126 Being All That Portion Lying East of a Straight Line Bisecting the North and South Boundaries Thereof (3323 Munroe Street)**

It is recommended that the bylaw to amend Schedule 'A' of Zoning Bylaw No. 1431-1995 to rezone the parcel legally described as East ½ of Lot 2, District Lot 362, Range 5, Coast District, Plan 3126 Being All That Portion Lying East of a Straight Line Bisecting the North and South Boundaries Thereof (3323 Munroe Street) from R1 – Single Family Residential to R1-A Single Family Residential be given third reading and adoption.

On December 2, 2010 the City received a Rezone amendment application from Mr. Rod Toovey of Skeena Valley Rentals Ltd. owner of the property at 3323 Munroe Street. Mr. Toovey has requested the rezone to allow for small lot residential subdivision of the subject property. The property is designated for Urban Residential uses in the Official Community Plan (OCP) Bylaw no. 1771-2002.

The OCP policy supports development in established older neighbourhoods utilizing existing water and sewer infrastructure. The subject parcel provides opportunity for infill development on a large parcel with all municipal services and utilities available. The R1-A One Family Residential zoning reduces lot frontage to a minimum 12 metres from the current 15 metres permitted in the R1 zone. The form of residential development will remain consistent with the existing neighbourhood and may result in the construction of smaller, relatively less expensive new homes.

The proximity to schools and reasonable walking distance to downtown shopping and employment support the slight increase in density the R1-A zoning allows. The location of the property at the intersection of Walsh Avenue and Munroe Street poses some challenges for future subdivision development and it is not likely that the maximum number of lots the new zoning permits would be feasible. The change to the R1-A zone would increase flexibility in a future subdivision proposal by allowing narrower one family parcels. Mr. Toovey has provided two sketch layouts, which are included in this report,


comparing the maximum number of new lots under the current R1 zone with the proposed R1-A zone.

Council, during the Committee of the Whole Development Services Component of their December 13, 2010 meeting, reviewed the planning report and discussed the bylaw amendment. After deliberations the Committee recommended that the proposed rezone proceed. The bylaw received 1st and 2nd readings at the December 13, 2010 Council Meeting. Notices of public hearing concerning the rezoning amendment were prepared. They were mailed to all affected property owners and also appeared in the January 12, 2011 and January 19, 2011 issues of the Terrace Standard.

The notice to the paper indicated the place and time where the relevant bylaws and background documents could be viewed and included a time and location for this public hearing at which citizens are invited to make presentations to Council concerning the subject applications. The notices to the affected property owners included the above information as well as the planning report from the December 13, 2010 Development Services Component of the Committee of the Whole.

Staff has responded to three property owners inquiries from the adjacent residential neighbourhood. Two of the property owners indicated support for the bylaw upon clarification that the R1-A zone remained one family use only and did not allow higher density in the form of townhouses or apartments. Carol & Steve Reynolds, owners of 4911 Walsh Avenue, have expressed their opposition to the proposed zoning change. They have outlined their concerns in correspondences, dated January 13 & 14, 2011, which are attached as part of this report.


Submitted by
DB/tw

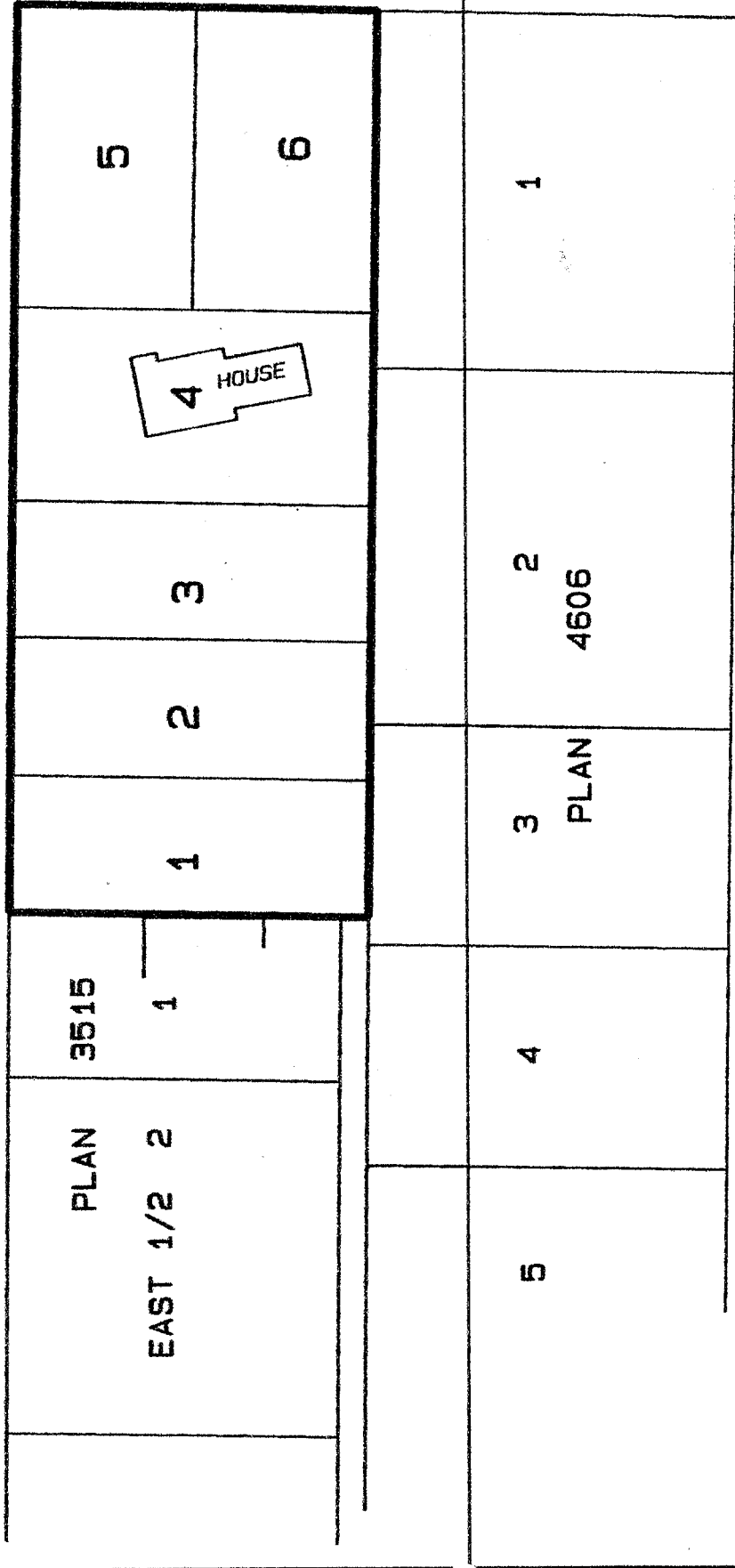

Approved for Submission to Council

PLAN OF PROPOSED SUBDIVISION OF
 THE EAST 1/2 OF LOT 2, DISTRICT LOT 362,
 RANGE 5 COAST DISTRICT, PLAN 3126.

WITH TYPICAL 50FT M

WALSH AVENUE

MUNROE STREET

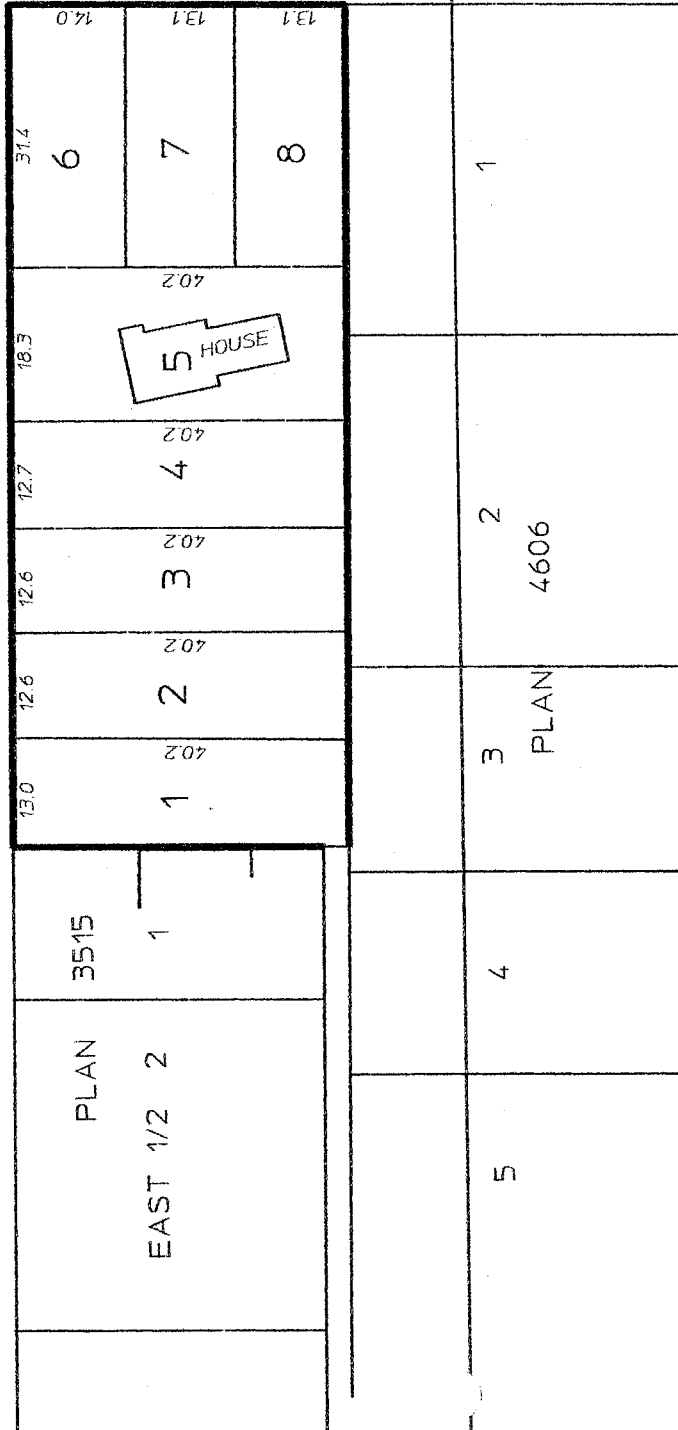


DAVIS AVENUE

PLAN OF PROPOSED SUBDIVISION OF
 THE EAST 1/2 OF LOT 2, DISTRICT LOT 362,
 RANGE 5 COAST DISTRICT, PLAN 3126.

REQUIRES CHANGE TO R1-A ZONING

WALSH AVENUE



MUNROE STREET

NOTE:
 THIS PROPOSAL REQUIRES APPLICATION
 TO RE-ZONE TO R1-A ZONING AND
 APPROVAL THEREOF.
 WILL REQUIRE ADDITIONAL SERVICE
 LATERALS.

DEDILUKE LAND SURVEYING INC.
 TERRACE AND NANAIMO, B.C.
 FILE: 2200/A/09

DAVIS AVENUE

David Block

From: Carol Reynolds [castoffs007@gmail.com]
Sent: January 14, 2011 11:24 AM
To: David Block
Subject: Bylaw Change to corner Property Walsh/Munroe

After viewing the documents on file with the City, and seeing what the change from R1 to R1-A means, we are against a bylaw change of this type.

Our understanding is the present R1 bylaw already allows for a possible subdivision of six (6) single residential lots. Our opinion is this bylaw already allows for more lots than it should, considering where this 'unusual corner property sits' (4/5 would be reasonable - 2 fronting Munroe St. & 2/3 fronting Walsh Avenue).

A change to R1-A with the possibility of eight (8) subdivided lots is out of the question and doesn't even fit with the established lot sizes in this neighbourhood.

Please review our letter, January 13, 2011, regarding numerous problems we already deal with living on Walsh as well as problems we foresee if this change to R1-A bylaw is allowed:

- a) 4 new driveways along Walsh, for a total of 5 (very short property front of Walsh), all close to the 'unusual corner' of Walsh/Munroe;
- b) Transit Bus Stop already established in this section of Walsh;
- c) 3 driveways along Munroe, 1 already in place, possible 2 could be added, (an even shorter section of property front) all would be close to the 'unusual Walsh/Munroe corner'.

This 'unusual corner' has numerous problems already for 5 days a week, 10 months of the year when Skeena School is in session. Established residents should not have to deal with more issues.

Be advised we want it known at the January 24, 2011 meeting that we are against a bylaw change that could allow this property to be subdivided into more than what the present R1 bylaw already allows.

We would appreciate if you would acknowledge receiving this email and also let us know if this is enough information to stop this application from going ahead at this time.

Carol & Steve Reynolds

4911 Walsh Avenue

Terrace, BC V8G 1Z1

Ph: 250-638-0240

17/01/2011

January 13, 2011

Attention: Mr. David Block
City Planner

From: Carol Reynolds
4911 Walsh Avenue

Re: Amending Zoning Bylaw for the land East ½ of Lot 29, DL 362, Range 5, Coast District, Plan 3126 Being all That Portion Lying East of a Straight Line Bisecting the North and South Boundaries Thereof [3323 Munroe Street] - From R1 (Single Family Residential) to R1-A (Single Family Residential).

As per our telephone conversation January 10, 2011 and your recommendation that as longtime homeowners at 4911 Walsh Avenue we (husband Steve Reynolds & myself) put our concerns in writing. It was reassuring that you indicated that a zoning change from R1 to R1A *would not change the type of residence* that can be constructed (single family residential only on this land).

What we feel the City needs to address, in advance, is what the impact of having 3 or 4 added driveways (all tight together) in the 4900 block of Walsh will have on traffic flow, and especially the 'Transit Bus Stop' (in a good spot) should this zoning pass and an application for subdividing this land follow shortly after.

You stated that the next step for this land owner would be to submit an application to subdivide. We, as well as the City, are well aware that this is the intent of the request to rezoning this now one piece of property. You stated to me in our telephone conversation that this land, should it get approval to change the zoning bylaw, could have as many as 7 potential lots made with 3 or possibly 4 lots that would all face Walsh Avenue. Driveways have to fit somewhere in the plan for these lots and so does the 'BUS STOP' that is already there.

Our concern.....At present the Transit Bus Stop on Walsh is at the intersection of Walsh & Munroe, very close to the one driveway already in place on this property in question asking for a zoning change. With the 'Bus Stop' in it's present location it has worked well when transit lets Skeena School students out on weekday mornings, 10 months of the year. The crosswalk in that location keeps students safe when crossing Walsh to get to Skeena School. With the 'Bus Stop' where it is now it also allows traffic coming west on Walsh to turn north onto Munroe, it allows Munroe traffic to get onto Walsh, and has had the least impact on traffic moving east on Walsh getting to Skeena School and getting on to Munroe Street to the only Skeena School 'IN driveway' and possibly traffic heading to Caledonia School further along Munroe. The Bus Stop in this location on Walsh also works well to keep

traffic moving from within Skeena School so traffic doesn't pile up along Walsh for long periods of time (I'm talking 10 months of the year). It also gives the already property owners, like ourselves, a chance to get out of their properties weekday mornings and on the road (residential properties in question are on the same side as where new driveways will have to be put, and beside where the 'Bus Stop' is located).

Moving that Transit Stop further back (west) on 4900 block of Walsh ***is not an option*** as it is already too busy at the only exit from Skeena School.

PLEASE TAKE NOTE: *This was tried when new Skeena School first opened and the transit bus was stopping to let students out at the exit only location and did not work.) Traffic was gridlocked as students held up traffic as they crossed Walsh to get to the School side. Property owners could not get out of driveways, school buses could not get out of the Skeena School exit, and, the traffic sat still both ways until the students were safely on the school side. I can tell you traffic flow was a mess.*

Lets jump ahead to 2012! - Thornhill Jr. School will close and that student population moves to Skeena School starting September. This will increasing traffic & people requiring access and exiting Skeena School. Volume of traffic on Walsh will only get heavier/worse.

Walsh Avenue is already a very busy street as much of the Bench traffic uses Walsh to get students to schools and themselves to the downtown area for work. Adding more students to Skeena School in September 2012 will increase traffic. How will the new residents exit their properties, as well as ourselves, at this very busy time of the morning, and again when school is let out in the afternoon for the 10 months of the year that school is in session?

There is no monitoring by either the City or the School Board regarding traffic and how it impacts the already existing residents that live on Walsh and especially those of us that live across from Skeena School. MANY people stop and drop their children off right under the signs that say 'NO STUDENT DROPOFF' now as well as several Skeena parents that regularly using our driveway to drop their children off and then turn around in our driveway so they can head west again. To this day I'm still upset that other people have no consideration for private property as people use our driveway and give us the finger should I show myself in the window while they are doing this deed. I tried to get the City to do something back when the new Skeena School opened (they did come and monitor the situation for a couple of weeks but gave up. It was evident that it would have to be monitored daily and the fellow I dealt with (Herb) said they just didn't have the manpower to do that 5 days a week, 10 months of the year.

We do not have a problem with an land owner wanting to do something different with their property as long as it continues to stay within the single

residential zoning but we do have a problem with this going forward without a positive plan in place from the City that will address our concerns as listed above. Please get back to us with a positive reply to our concerns before the possible rezoning of this property goes to Council for approval on January 24, 2011.

C. Reynolds, 4911 Walsh Avenue, Terrace, BC V8G 1Z1, Ph: 250-638-0240